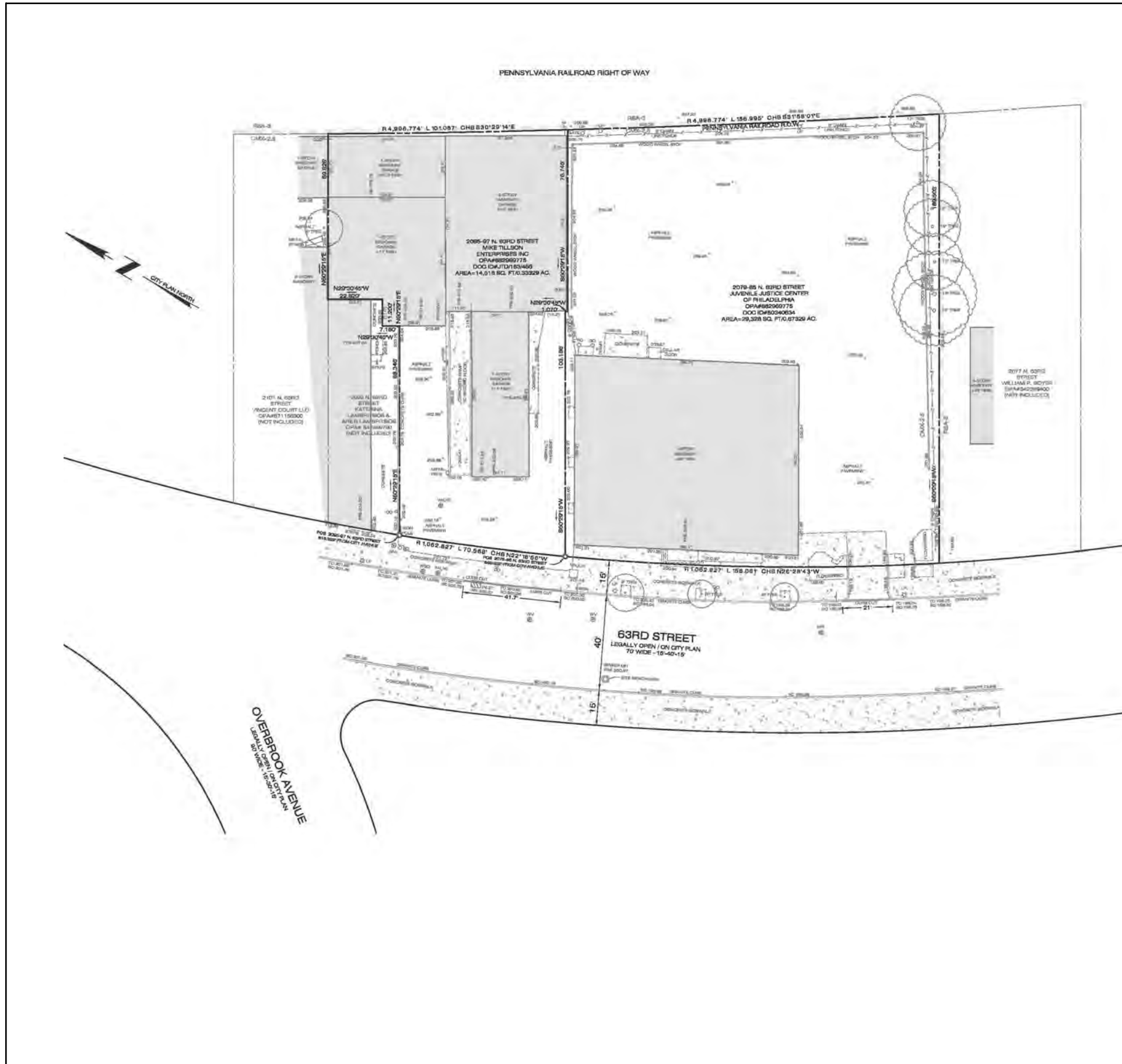




THE ELM

2079-97 North 63rd Street

EXISTING SITE PLAN



LEGEND

EXISTING FEATURES

- TELECOMMUNICATION MAN-HOLE
- WATER MAN-HOLE
- ELECTRICAL MAN-HOLE
- SANITARY MAN-HOLE
- CITY INLET
- FIRE HYDRANT
- WATER VALVE
- UTILITY POLE
- SIGN
- LIGHT STANDARD
- COMBINED SEWER
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD AERIAL LINE
- FENCE LINE
- EXISTING BUILDINGS
- ZONING BOUNDARY LINE

CMX-2.5 NEIGHBORHOOD COMMERCIAL MIXED-USE ZONING CRITERIA

LOT AND LOT DIMENSIONS

YARD	REQUIRED
Max. Occupied Area (% of lot)	Immediate: 75 Corner: 80
Min. Front Yard Depth	Must be built to front lot line
Min. Side Yard Width (ft.)	8' if used
Min. Rear Yard Depth	The greater of 9 ft. or 10% of lot depth
HEIGHT	
Max. Height	55'
Min. Cornice Height	25'

- NOTES**
- Boundary and topographic information is based on a field survey performed by Ruggiero Plante Land Design on February 13, 2018.
 - Boundary dimensions are identified in Philadelphia District Standard text and other stated dimensions are in U.S. standard feet.
 - The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
 - The bearings shown herein are referenced from CPM342.
 - Some of site improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources.
 - FEMA FIRM map #201570170G (not printed) designates the site as Zone X, areas outside the 500 yr. floodplain.
 - City above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
 - Attention is called to the zoning requirements in the City of Philadelphia Code as amended. The property is identified as within Commercial (CMC-2.5) Zoning District.
 - A zoning permit is required for any proposed changes to lot lines, including consolidation of existing parcels.
 - Elevations shown on plan are based on City Plan #342. Benchmark is a manhole rim in N. 63rd Street with an elevation of 200.07.

SOURCE OF TITLE

2079-85 N. 63RD STREET
Deed from Clinical Care Associates of the University of Pennsylvania Health System to Juvenile Justice Center of Philadelphia, dated October 10, 2001 and being recorded in the City of Philadelphia on October 11, 2001 as document #9094603.

2095-97 N. 63RD STREET
Deed from Philadelphia Authority for Industrial Development to Mike Tullson Enterprises Inc. dated September 16, 1996 and being recorded in the City of Philadelphia on November 29, 1996 as document #JTD183468.

- REFERENCE PLAN & DOCUMENTS**
- CITY PLAN #342.
 - PLAN OF PROPERTY, MADE BY 11TH SURVEY DISTRICT, DATED OCTOBER 4, 1993.
 - PLAN OF PROPERTY, MADE BY GEORGE SHERROD, 6&R OF 11TH SURVEY DISTRICT, DATED APRIL 26, 1940.

JAMES F. HENRY, FLS
PA Registered Professional Land Surveyor
No. SU-056807



- UTILITY OWNERS**
- DATE CONTACTED:**
- SERIAL NUMBER:**
- COMPANY: COMCAST CABLEVISION**
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: BOB HARVEY
EMAIL: bob_harvey@cable.comcast.com
- COMPANY: USBC**
ADDRESS: 450 S HENDERSON RD, SUITE 2
FORDS OF PHILADELPHIA, PA 19008
CONTACT: GAVIN HEWITT
EMAIL: gavinhe Witt@usbc.com
- COMPANY: PHILADELPHIA CITY WATER DEPARTMENT**
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARIA TOWER
PHILADELPHIA, PA 19107
CONTACT: ERIC POMERT
EMAIL: eric.pomert@phila.gov
- COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS**
ADDRESS: 1401 JFK BLVD, ROOM 840 MB8
PHILADELPHIA, PA 19106
CONTACT: PAT O'DONNELL
EMAIL: pat.odonnell@phila.gov
- COMPANY: PHILADELPHIA GAS WORKS**
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA 19122
CONTACT: JAMES BOCHANSKI
- COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY**
ADDRESS: 1254 MARKET ST, 12TH FL
PHILADELPHIA, PA 19107
CONTACT: DAVID MONTYDAS
EMAIL: dmontydas@septa.org
- COMPANY: VERIZON PENNSYLVANIA, LLC**
ADDRESS: 180 SHREEVE BLVD, STE 2100 ROOM NR
EXTON, PA 19341
CONTACT: KELLY BLOUNT
EMAIL: kblount@verizon.com

OWNER OF RECORD
2079-85 N. 63RD STREET
JUVENILE JUSTICE CENTER
OF PHILADELPHIA
100 CULTER STREET
PHILADELPHIA, PA 19144

OWNER OF RECORD
2095-97 N. 63RD STREET
MIKE TULLSON ENTERPRISES
PO BOX 41
919 LITTLE BLEND RD
WESTTOWNSHIP, PA 19386

NOTE:
PENNSYLVANIA ACT 267 OF 1974 AS AMENDED BY ACT 121 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWER AND WATER LINES BEFORE COMMENCING CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF LOCAL UTILITIES.

REVISIONS

NO.	DATE	DESCRIPTION

2079-85 N. 63RD STREET
2095-97 N. 63RD STREET
Philadelphia, PA 19151
34th Ward - OPA#883382660; #882969775

prepared for:
Nate Torok
Rock Construction
4203 Main Street
Philadelphia, PA, 19127

Ruggiero Plante Land Design
4220 Main Street Philadelphia, PA 19127
phone 215.508.3900 fax 215.508.3900 www.ruggieroplante.com

Plan Date: **Scale: 1" = 20'-0"**
March 19, 2018

Sheet Title:
BOUNDARY & TOPOGRAPHIC SURVEY



1



2



3



4



10



9



8



5



6



7

PROPOSED SITE PLAN

UTILITY OWNERS

DATE CONTACTED:
SERIAL NUMBER:
COMPANY: COMCAST GABLEN BICH
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: 303 HARVEY
EMAIL: bob_harvey@comcast.com

COMPANY: USIC
ADDRESS: 450 S HENDERSON RD, SUITE B
1903 OF FRIGESSIA, PA 19408
CONTACT: QAVIN HEWITT
EMAIL: qavin.hewitt@usic.com

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARA TOWER
PHILADELPHIA, PA 19107
CONTACT: ERIC POWERT
EMAIL: eric.powert@phila.gov

COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 1401 JFK BLVD, ROOM 940 M8B
PHILADELPHIA, PA 19102
CONTACT: PAT O'DONELL
EMAIL: pat.odonnell@phila.gov

COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA 19102
CONTACT: JAMES BOCHANSKI

COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY
ADDRESS: 1234 MARKET ST, 12TH FL
PHILADELPHIA, PA 19107
CONTACT: DAVID MONTYVIDAS
EMAIL: dmontyvas@septa.org

COMPANY: VERIZON PENNSYLVANIA, LLC
ADDRESS: 180 SHEPHERD BLVD, STE 2100 ROOM N/A
EASTON, PA 18041
CONTACT: KELLY BLOUNT
EMAIL: kelly.blount@verizon.com

CMX-2.5 NEIGHBORHOOD COMMERCIAL MIXED-USE ZONING CRITERIA

DISTRICT AND LOT DIMENSIONS	REQUIRED	PROPOSED
Max. Occupied Area (% of lot)	Intermediate: 75	72% (31948)
YARDS		
Min. Front Yard Depth	Must build to front lot line	0'
Min. Side Yard Width (w.e.)	8' Tiled	8'
Min. Rear Yard Depth	The greater of 9 ft. or 10% of lot depth	18'-6"
HEIGHT		
Max. Height	50'	50'
Min. Ceiling Height	20'	20'

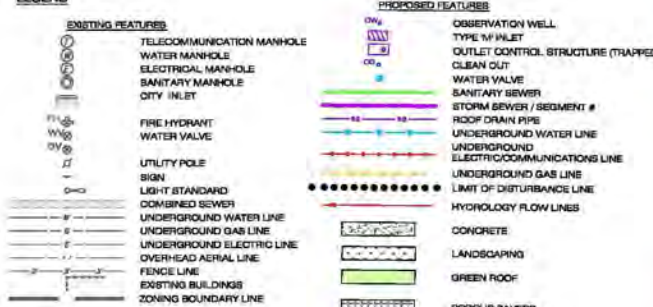
CONCEPTUAL STORM WATER MANAGEMENT PLAN SUBMISSION NOTES:

1. CREATE NEW 2 WAY DRIVE OFF OF 63RD STREET WITH A POROUS PAVING COMMON DRIVE AISLE.
2. ALL NEW STRUCTURES WILL HAVE GREEN ROOFS. STORMWATER WILL DISCHARGE TO SEWER IN 63RD STREET.
3. (3) TYPE "M" INLET ARE LOCATED IN THE COMMON DRIVE. THEY CAPTURE SURFACE RUNOFF FROM THE PAVEMENT AND WILL DISCHARGE TO SEWER IN 63RD STREET.
4. THE CONDO BUILDING WILL HAVE A GREEN ROOF. GREEN ROOF AND ASSOCIATED IMPERVIOUS DECK AREAS WILL SHEET FLOW TO OVERFLOW DRAINS. THESE OVERFLOW DRAINS WILL TIE INTO THE BUILDING STORMWATER SYSTEM AND CONNECT TO THE EXISTING SEWER IN 63RD STREET.
5. THE PROJECT IS A RUD AND WILL CONTAIN 111 DWELLING UNITS ALONG WITH SHARED ACCESS & DRIVEWAY.
6. THE HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL SITE FACILITIES, INCLUDING GREEN ROOF, POROUS PAVEMENT, STORM SEWER FACILITIES AND UTILITIES.
7. PHILADELPHIA DEPARTMENT OF STREETS WILL BE CONTACTED TO REVIEW THE REMOVAL OF EXISTING CURB CUTS AND THE ADDITION OF PROPOSED CURB CUT LOCATIONS.

GREEN ROOF DESIGN STANDARDS:

1. THE PLANS MUST INDICATE THAT THE SATURATED PERMEABILITY OF THE GROWING MEDIUM, IN ITS COMPACTED STATE (ASTM E2296), IS NOT LESS THAN SIX INCHES PER HOUR.
2. A DRAINAGE LAYER SHALL BE PROVIDED AND THAT IT PREVENTS PONDING OF RUNOFF IN THE GROWING MEDIUM DURING THE TEN-MINUTE MAXIMUM RAINFALL RATE ASSOCIATED WITH THE ONE-YEAR, 24-HOUR STORM EVENT.
3. THE CONTRIBUTING AREA OF ROOFTOP TO EACH DISCONNECTED DISCHARGE POINT IS EQUAL TO, OR LESS THAN, 500 SQUARE FEET.
4. DETAILS SHALL BE PROVIDED ON THE PLANS THAT DEMONSTRATE THAT ALL DRAINS AND SCOURING ARE COVERED AND PROTECTED BY AN ENCLOSURE, TYPICALLY A SQUARE OR ROUND CHAMBER WITH A LOCKING LID. THESE CHAMBERS ARE DESIGNED TO PREVENT CLOGGING OF THE DRAINS BY DEBRIS.
5. THE ROOF DRAINAGE SYSTEM AND THE REMAINDER OF THE SITE DRAINAGE SYSTEM SHALL CORRECTLY ROOF RUNOFF TO THE STORM SEWER, COMBINED SEWER, OR RECEIVING WATER.
6. THE GREEN ROOF SHALL BE MAINTAINED TO ALLOW FOR SAFE ACCESS AND WORKING CONDITIONS FOR GREEN ROOF INSPECTION AND MAINTENANCE PERSONNEL. THIS MAY INCLUDE THE DESIGN OF PERMANENT PERSONAL SAFETY MEASURES. FOR GREEN ROOFS, DESIGNERS MUST SPECIFICALLY ASSESS APPLICABILITY TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) FALL PROTECTION SAFETY STANDARDS AND THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) AND AMERICAN SOCIETY OF SAFETY ENGINEERS (ASSE) CONSENSUS STANDARD FALL PROTECTION STANDARDS.

GREEN ROOF NOTE:
1. Proposed Green Roof drainage layer is not a High transmissivity drainage layer, defined as a layer with a transmissivity of 0.005 mda or greater (ASTM D4716).



EFFECTIVE GREEN ROOF CALCULATIONS

GROSS FOOTPRINT
TOTAL ROOF AREA = 26,700 SF
GREEN ROOF AREA = 17,900 SF
TOTAL IMPERVIOUS ROOF AREA = 8,800 SF
LOADING RATIO = 8800 / 17900 = 0.49 (LESS THAN 0.5)
GREEN ROOF COVERAGE = 17900 SF / 26700 SF = 67 %

REQUIRED THICKNESS OF THE GREEN ROOF GROWING MEDIUM

Minimum thickness (in inches) of green roof growing medium = 3 inches + [3 * ((Impervious roof area / Green roof area)] = 3" + 3 * 0.49 = 4.47"

GREEN ROOF CONSTRUCTION SEQUENCE

1. APPLY WATERPROOFING MEMBRANE AND INSPECT FOR ANY PENETRATIONS THAT WILL INTERFERE WITH DRAINAGE.
2. INSTALL ROOT BARRIER LAYER, IF REQUIRED, AND/OR HYDROPROOFING PROTECTION LAYER.
3. INSTALL DRAINAGE LAYER.
4. INSTALL IRRIGATION SYSTEM, IF INCLUDED IN DESIGN.
5. TEST THE IRRIGATION SYSTEM, IF INCLUDED IN DESIGN.
6. INSTALL FILTER OR SEPARATION FABRIC LAYER OVER ENTIRE DRAINAGE LAYER.
7. INSTALL GREEN ROOF GROWING MEDIUM, AS REQUIRED.
8. ESTABLISH VEGETATION.

GREEN ROOF MATERIAL STANDARDS:

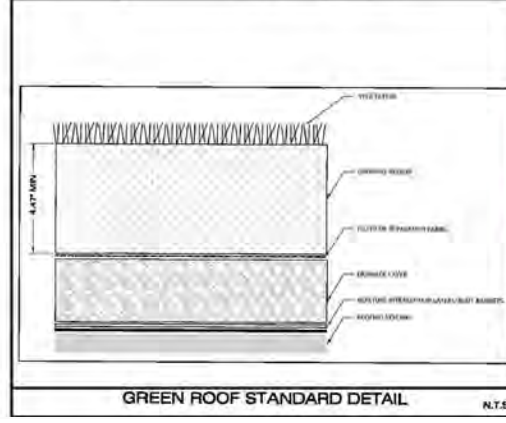
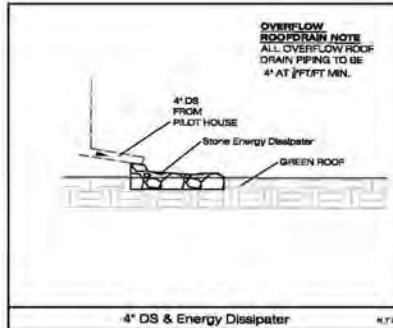
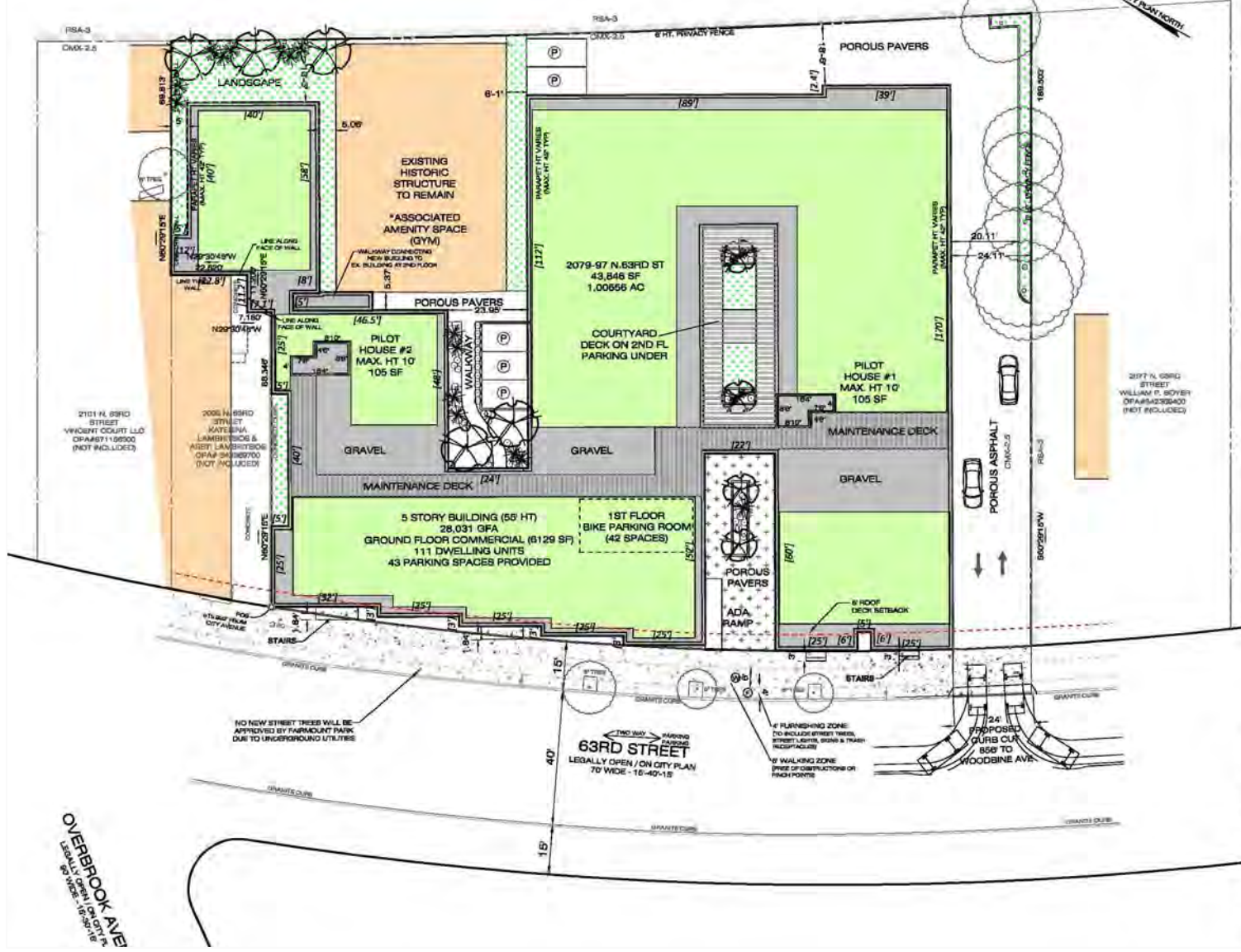
1. THE GREEN ROOF GROWING MEDIUM SHALL BE SPECIFIED ON THE PLANS TO MEET THE FOLLOWING SPECIFICATIONS:
 - A. MOISTURE CONTENT AT MAXIMUM WATER HOLDING CAPACITY (ASTM E2296 OR PLY) = 30%
 - B. POROSITY AT MAXIMUM WATER HOLDING CAPACITY (ASTM E2296 OR PLY) = 9%
 - C. TOTAL ORGANIC MATTER (ASTM 8) = 3% TO 8%
 - D. PH (ASTM) = 6.5 TO 8.0
 - E. SOLUBLE SALTS (DPTA SATURATED MEDIA EXTRACTION) = 4% MAXIMUM
 - F. WATER PERMEABILITY (ASTM E2296 OR PLY) = 0.5 INCH
 - G. GRAIN SIZE DISTRIBUTION, AS RECOMMENDED BY P.L.L.
 - H. THE NUTRIENTS MUST BE INITIALLY INCORPORATED IN THE FORMULATION OF A SUITABLE MIX FOR THE SUPPORT OF THE SPECIFIED PLANT MATERIALS.
 - I. THE MEDIUM MUST WITHSTAND FREEZE/THAW CYCLES.
2. GEOTEXTILE SHALL BE SPECIFIED TO CONSIST OF POLYPROPYLENE FIBERS AND TO MEET THE FOLLOWING SPECIFICATIONS:
 - A. GRAIN TENSILE STRENGTH (ASTM D4852) = 120 LBS
 - B. MULLER BURST STRENGTH (ASTM D3785) = 200 PSI
 - C. FLOW RATE (ASTM D4912) = 10 GAL/MIN/FT
 - D. UV RESISTANCE AFTER 500 HRS (ASTM D4912) = 10 %
 - E. HEAT-SET OR HEAT-CALCENDARED FABRICS ARE NOT PERMITTED.
3. FOR VEGETATED COVER ASSEMBLIES WITH AN OVERALL THICKNESS OF FIVE INCHES OR GREATER, THE DRAINAGE LAYER SHALL BE SPECIFIED ON THE PLANS TO MEET THE FOLLOWING SPECIFICATIONS:
 - A. ABRASION RESISTANCE (ASTM C1181) = 25 % LOSS
 - B. SOUNDNESS (ASTM C88) = 5 % LOSS
 - C. POROSITY (ASTM C295) = 25 %
 - D. RESISTANCE TO PARTICLES PASSING 1/2 INCH SIEVE (ASTM C1181) = 75 %
 - E. THE MINIMUM THICKNESS OF THE GRANULAR LAYER MUST BE TWO INCHES. THE GRANULAR LAYER MAY BE INSTALLED IN CONJUNCTION WITH A SYNTHETIC RESERVOIR SHEET.
4. ALL WATERPROOFING MEMBRANES MUST MEET APPROPRIATE ASTM SPECIFICATIONS. PVC MEMBRANES MUST MEET ASTM D4434 REQUIREMENTS, EPDM MEMBRANES MUST MEET ASTM D4437 REQUIREMENTS, AND TPO MEMBRANES MUST MEET ASTM D789 REQUIREMENTS.
5. ALL WATERPROOFING MEMBRANES MUST FULLY WATERPROOF WITH PROPERLY SEALED SEAMS, COVERS, AND PROTRUSIONS TO PREVENT ANY INTRUSION OF STANDING WATER ABOVE THE MEMBRANE.
6. ROOFING MEMBRANES MUST MEET ALL BUILDING CODE REQUIREMENTS AND GUIDELINES OF THE CITY OF PHILADELPHIA.
7. THE PROPOSED GREEN ROOF PLANTINGS AND ARE NON-INVASIVE. REFER TO APPENDIX FOR PLANT LIST.
8. BEEM BARRIERTONUM, ALSO KNOWN AS STAR BEEM, BOLD MOSS, STRONG STONECORP, OR GRAVELYARD MOSS, SHALL NOT BE PROPOSED.

UNIT ALLOWANCES
43,846 SF LOT AREA
162 DWELLING UNITS ALLOWABLE
202 DWELLING UNITS ALLOWABLE*
111 DWELLING UNITS PROVIDED

* UTILIZING GREEN ROOF BONUS

PARKING REQUIREMENTS
28,031 GFA
111 DWELLING UNITS
6,129 SF COMMERCIAL
0 SPACES REQUIRED
43 SPACES PROVIDED

BICYCLE PARKING
28,031 GFA
111 DWELLING UNITS
6,129 SF COMMERCIAL
37 CLASS 1A SPACES REQUIRED
42 SPACES PROVIDED

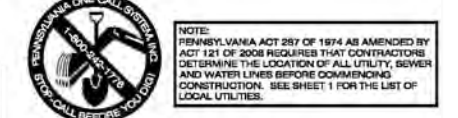


The property lies within the **LOWER SCHUYLKILL WATERSHED.**

- NOTES**
1. Boundary and topographic information is based on a field survey performed by Ruggiero Plante Land Design on February 13, 2018.
 2. Boundary dimensions are identified in Philadelphia District Standard feet and other stated dimensions are in U.S. standard feet.
 3. The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
 4. The bearings shown herein are referenced from CMX42.
 5. Some of the improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources.
 6. FEMA FIRM map #42075701760 (not printed) designates the site as Zone X areas outside the 500' yr floodplain.
 7. Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
 8. Attention is called to the zoning requirements in the City of Philadelphia Code as amended. The property is identified as with Commercial (CMX-2.5) Zoning District.
 9. A zoning permit is required for any proposed changes to lot lines, including consolidation of existing parcels.
 10. Elevations shown on plan are based on City Plan #342. Benchmark is a manhole rim in N. 63rd Street with an elevation of 300.07'.

OWNER OF RECORD:
2079-85 N. 63RD STREET
JUVENILE JUSTICE CENTER
OF PHILADELPHIA
100 CULLEN STREET
PHILADELPHIA, PA 19144

OWNER OF RECORD:
2095-97 N. 63RD STREET
MIKE TILLSON ENTERPRISES
PO BOX 41
919 LITTLE SHILO RD
WESTTOWN, PA 19380



NO.	REVISIONS

2079-85 N. 63RD STREET
2095-97 N. 63RD STREET
Philadelphia, PA 19151
34th Ward - OPA#883382660; #882969775

prepared for:
Nate Torok
Rock Construction
4203 Main Street
Philadelphia, PA, 19127

prepared by:
David J. Plante
DAVID J. PLANTE, Professional Engineer

Ruggiero Plante Land Design
4220 Main Street Philadelphia, PA 19127
phone 215.508.3900 fax 215.508.3800 www.ruggieroplantedesign.com

Plan Date: **JANUARY 14, 2019**
Scale: 1" = 20'-0"
20' 10' 0' 20'

ZONING SUBMISSION
Sheet Title:
ZONING PLAN
Sheet 1 of 4

Sustainability Summary

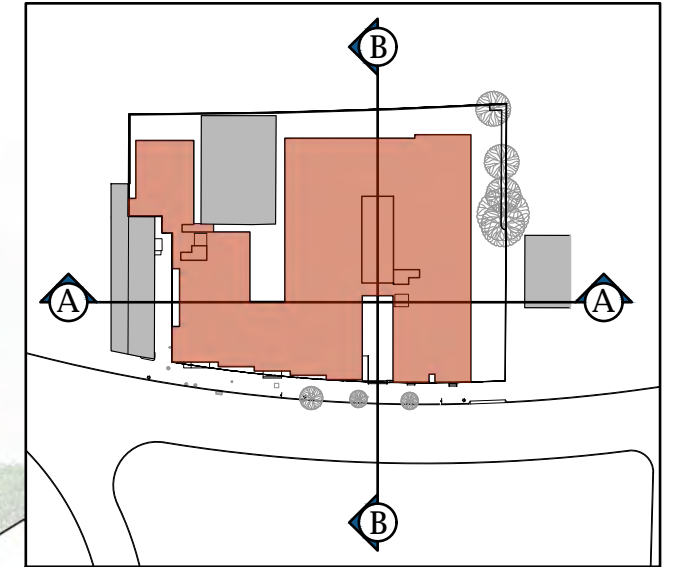
The site design was conceived to promote stormwater infiltration, evapotranspiration, and a reduction of the heat island effect:

1. The design incorporates a Green Roof. This feature works to utilize on-site infiltration as well as to treat and regulate runoff.
2. The design incorporates porous pavers. This feature works to utilize on-site infiltration as well as to treat and regulate runoff.
3. Interior vegetated areas are employed to infiltrate water runoff from paving, help to clean surface runoff that runs to city sewers and increase the year round aesthetics of the site.
4. Trees will be installed within each of the courtyards and walkways. These trees provide summer shade, help reduce heat gain, and improve air quality.
5. Landscape areas along the perimeter of the site will be installed to work as both a visual and noise buffer.



The Elm: 2079-97 North 63rd Street

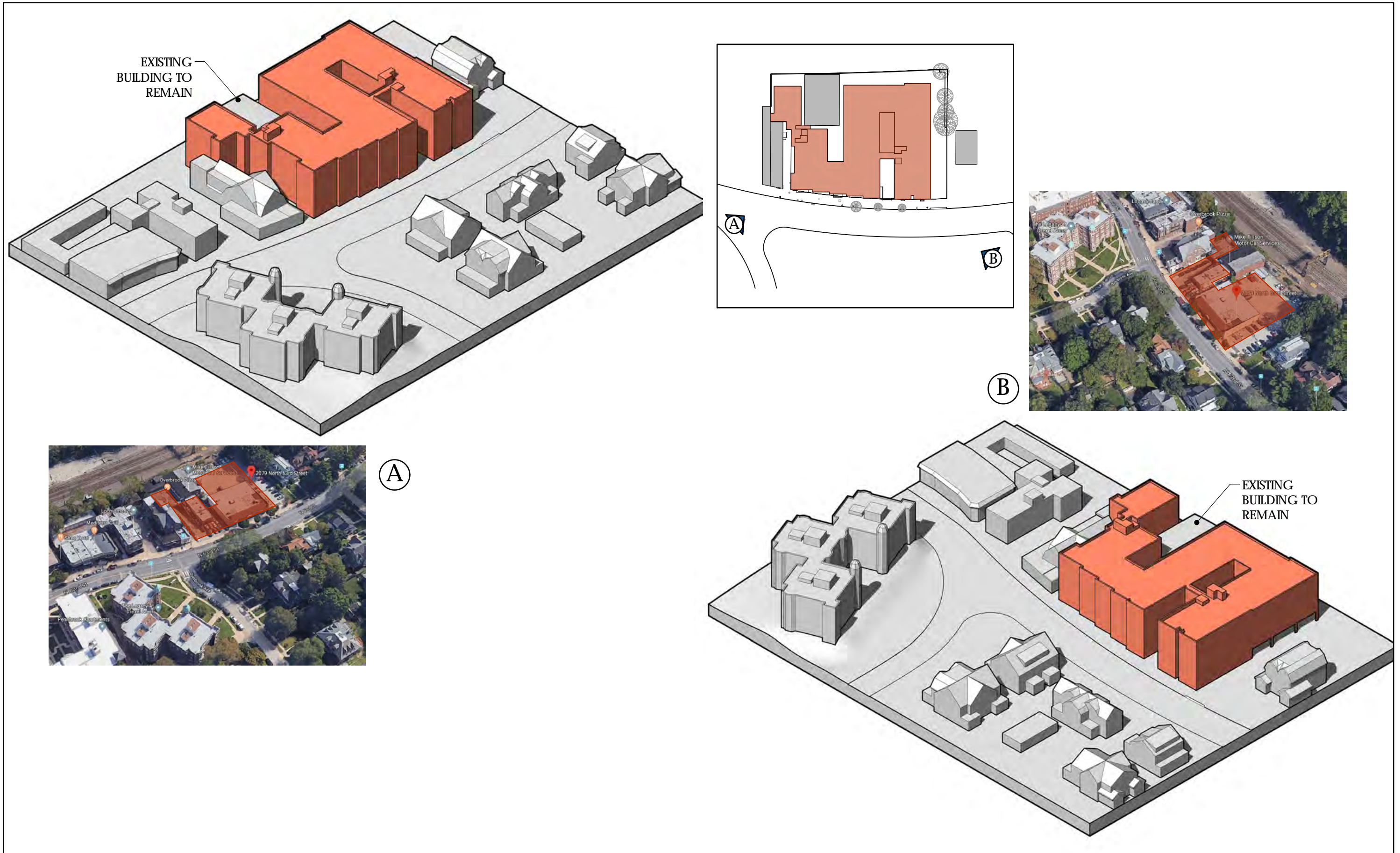
SITE SECTIONS



A



B

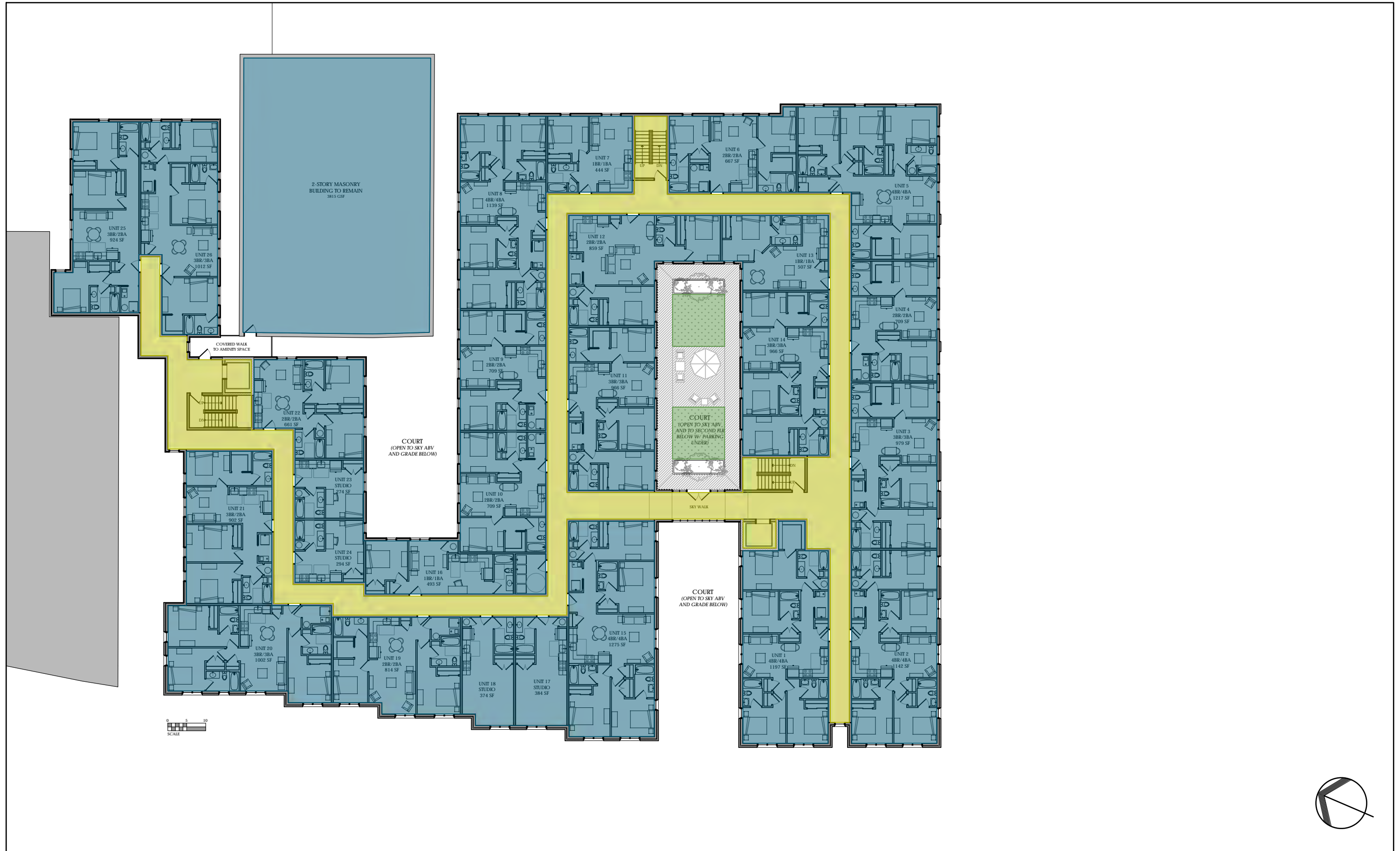


The Elm: 2079-97 North 63rd Street

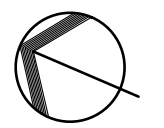
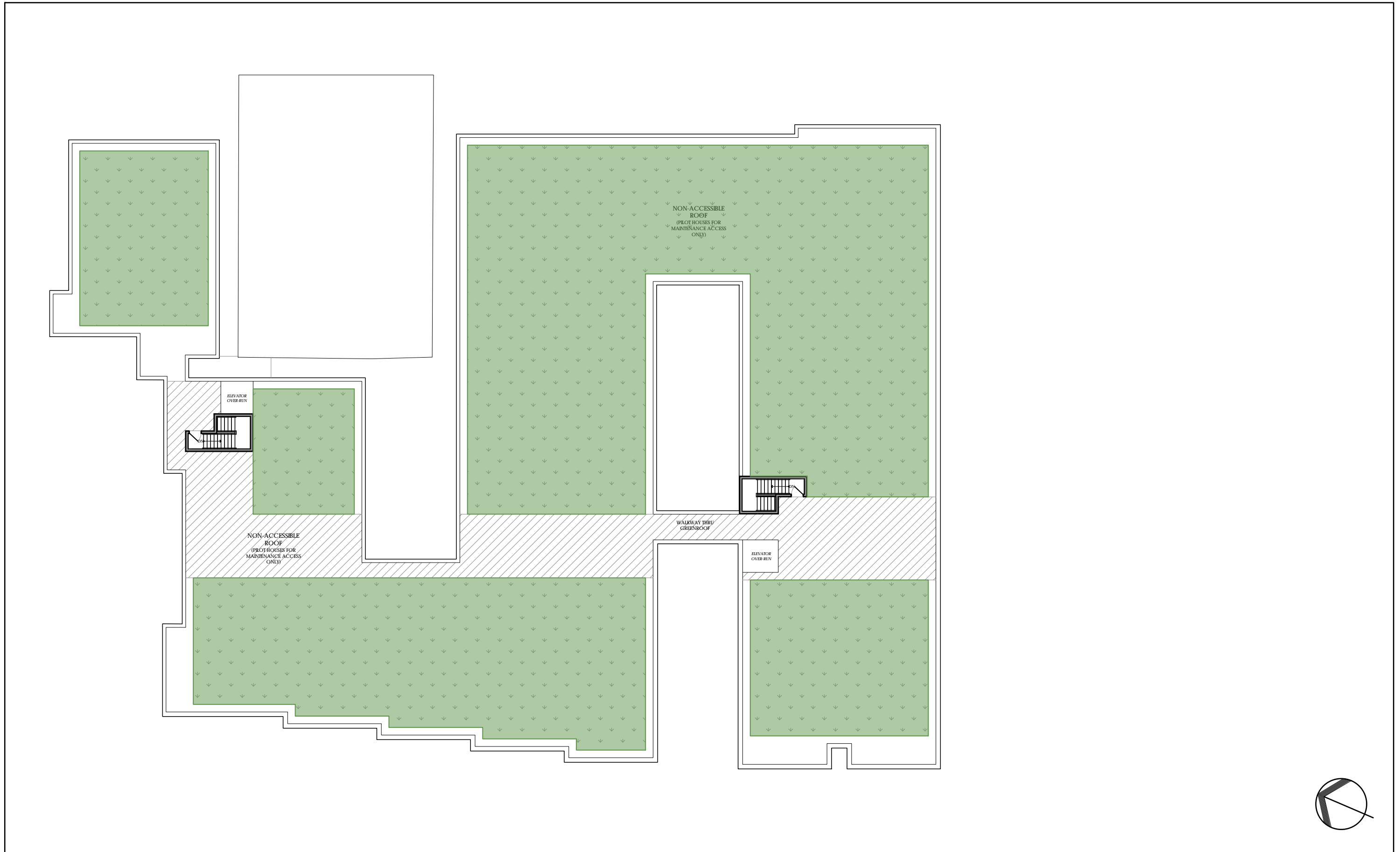
PROPOSED GROUND FLOOR PLAN



PROPOSED UPPER LEVELS PLAN



PROPOSED ROOF PLAN



LANDSCAPE PLAN

TREES

CODE	BOTANICAL NAME	COMMON NAME	SIZE
CK	Ciadrastis kentukea	Yellowwood	2.5-3' Cal. B&B
SK	Stewartia Korean	Korea Stewartia	2.5-3' Cal. B&B
QP	Quercus phellos	Willow Oak	2.5-3' Cal. B&B
GT	Gleditsia triacanthos	Honey Locust	2.5-3' Cal. B&B
PG	Picea glauca	North Star White Spruce	2.5-3' Cal. B&B
CC	Cercis canadensis	Eastern Redbud	2.5-3' Cal. B&B
AS	Acer saccharum 'Apollo'	Apollo Sugar Maple	2.5-3' Cal. B&B

SHRUBS / GROUNDCOVER

CODE	BOTANICAL NAME	COMMON NAME	SIZE
VD	Viburnum dentatum	Viburnum	5 gal.
IV	Ilex verticillata 'Red Sprite'	Winterberry	5 gal.
CH	Cephalotaxus harringtonia prostrata	Prostrate Plum Yew	5 gal.
PA	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	1 gal.

Rhus Aromatic 'Gro Low' - Gro Low Fragrant Sumac 18" OC
Liriope muscari 1" OC



Eastern Redbud



Willow Oak



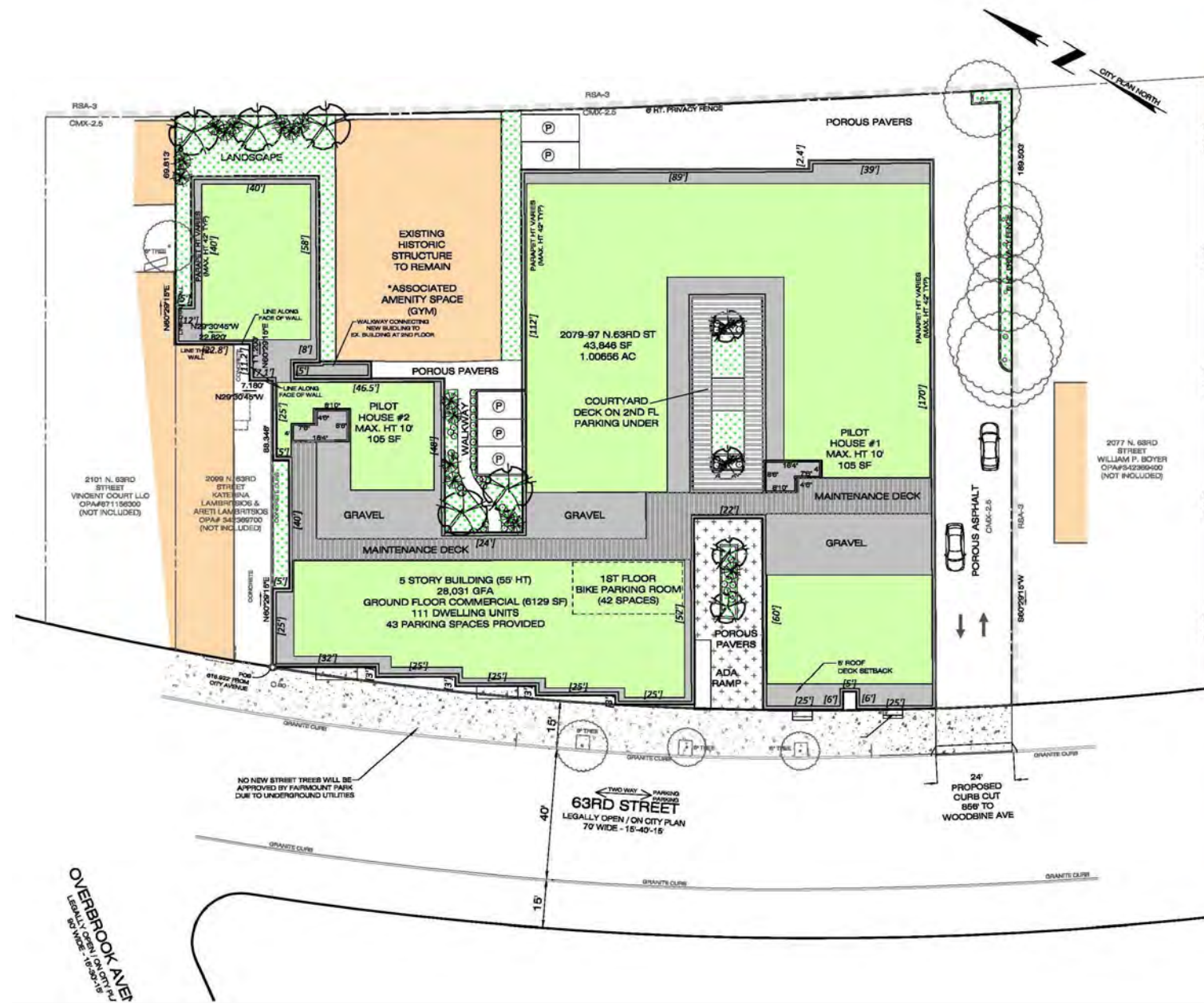
Apollo Sugar Maple



North Star White Spruce



Honey Locust



Winterberry



Viburnum dentatum



Dwarf Fountain Grass



Liriope muscari



Prostrate Plum Yew

2079-85 N. 63RD STREET
2095-97 N. 63RD STREET
Philadelphia, PA 19151
34th Ward - OPA#883382660;#882969775

prepared for:

Nate Torok
Rock Construction
4203 Main Street
Philadelphia, PA, 19127

prepared by:

DAVID J. PLANTE, Professional Engineer

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phone 215.508.3800 fax 215.508.3800 www.ruggieroplante.com

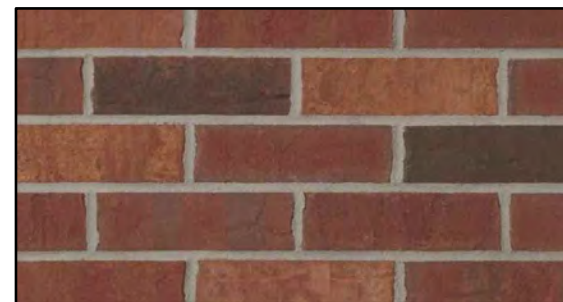
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20' 10' 0' 20'

CDR SUBMISSION
Sheet Title:
LANDSCAPE PLAN
Sheet 1 of 1

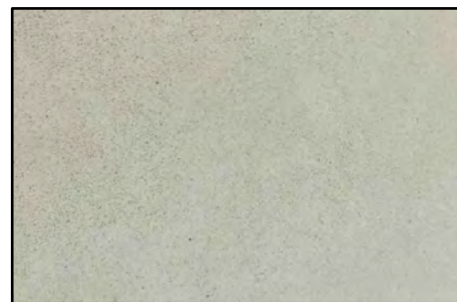
ELEVATION FACING N 63RD STREET



1



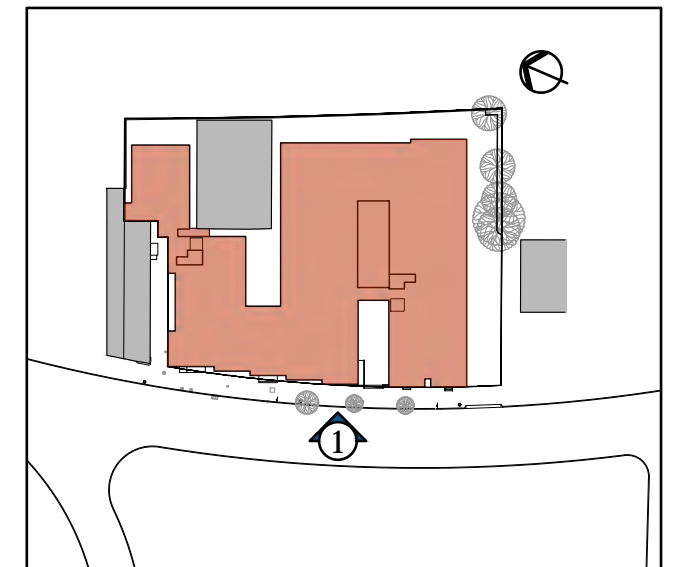
BRICK COLOR



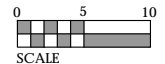
LIMESTONE (GFRG) COLOR



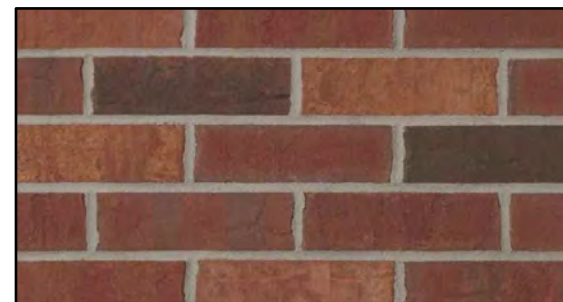
WINDOW COLOR



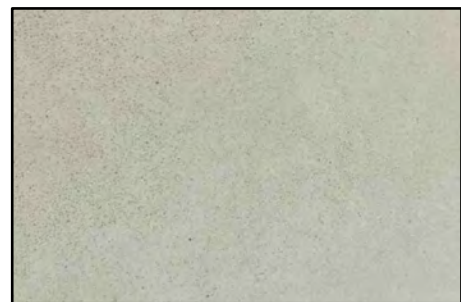
ELEVATION FACING SOUTH



2



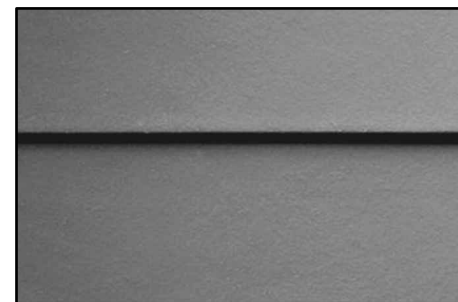
BRICK COLOR



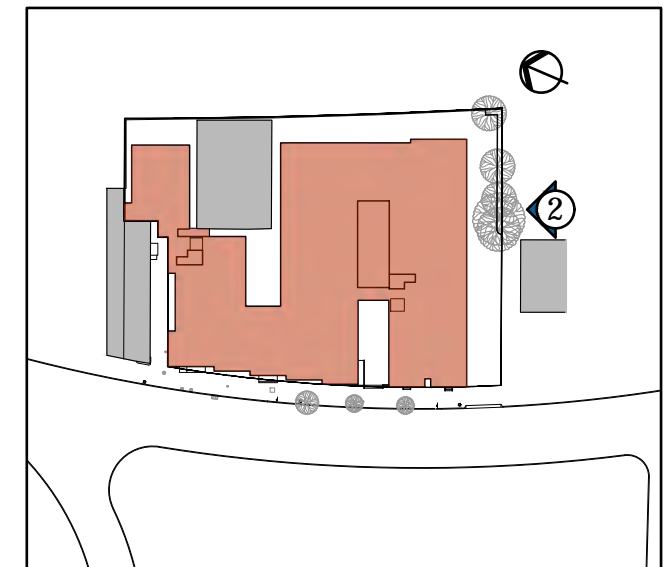
LIMESTONE (GFRFC) COLOR



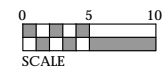
WINDOW COLOR



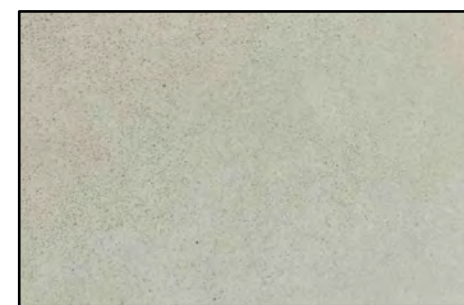
SIDING COLOR



ELEVATION FACING RAILROAD



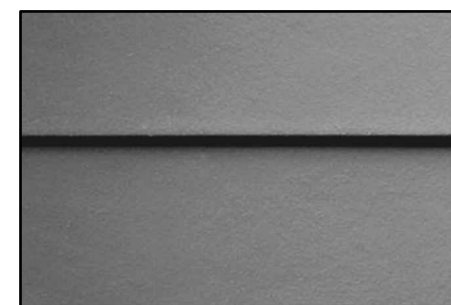
3



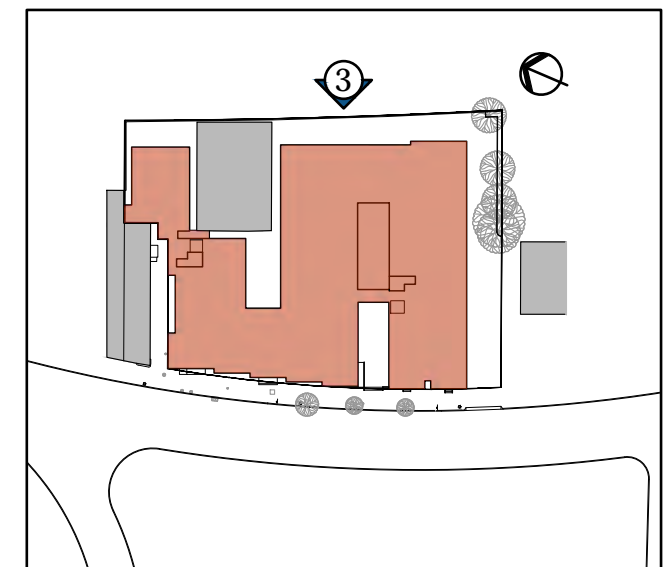
LIMESTONE (GFRC) COLOR



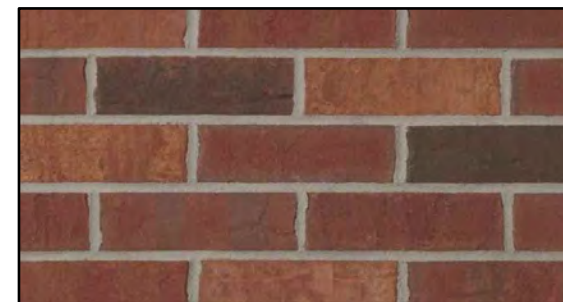
WINDOW COLOR



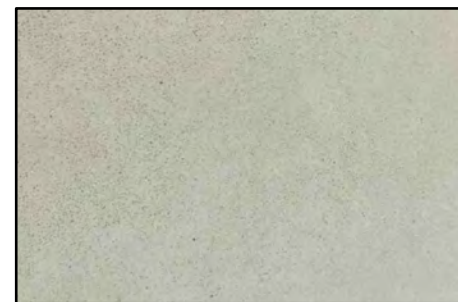
SIDING COLOR



COURTYARD ELEVATION FACING SOUTH



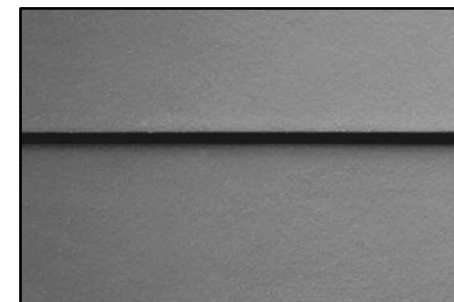
BRICK COLOR



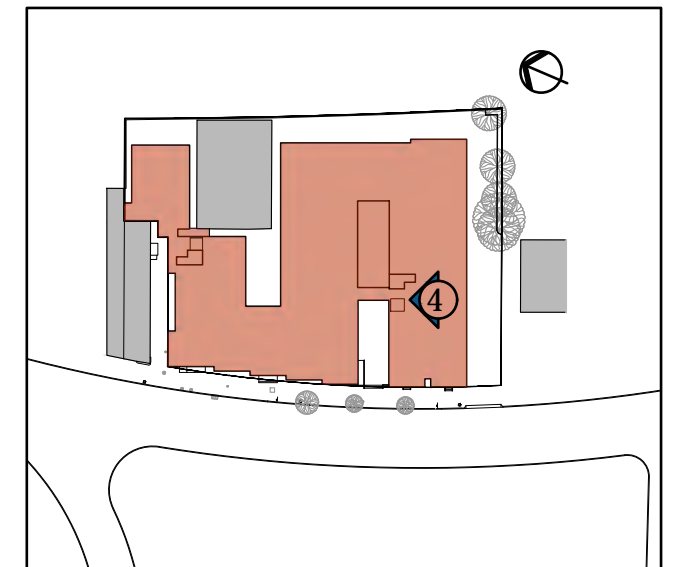
LIMESTONE (GFR) COLOR



WINDOW COLOR



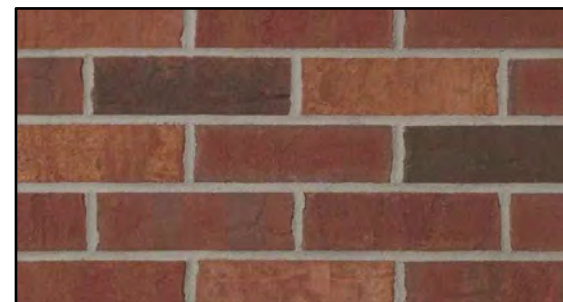
SIDING COLOR



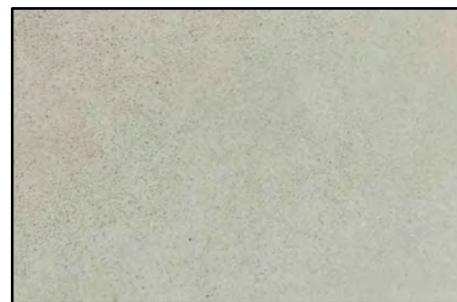
COURTYARD ELEVATION FACING NORTH



5



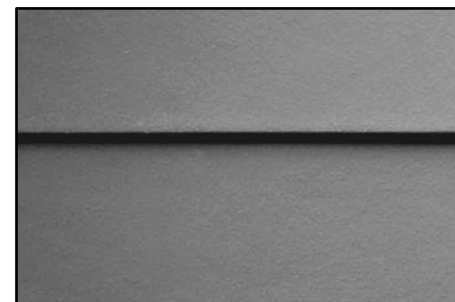
BRICK COLOR



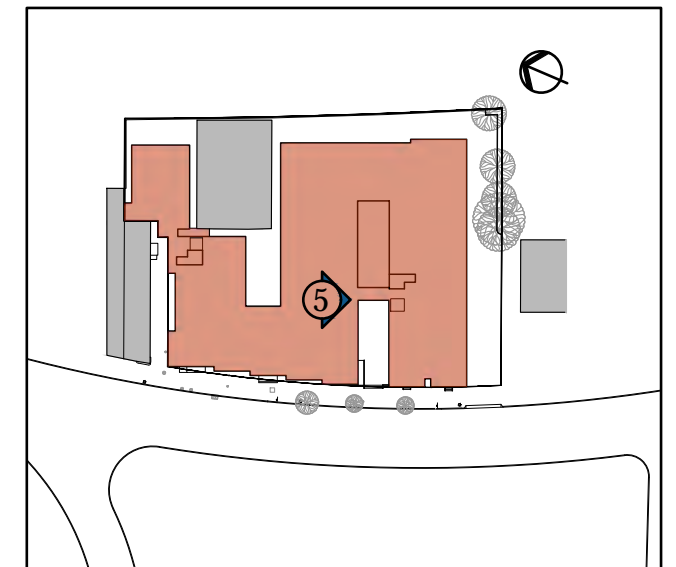
LIMESTONE (GFRG) COLOR



WINDOW COLOR



SIDING COLOR



INTERIOR VIEWS LOOKING NORTH and WEST



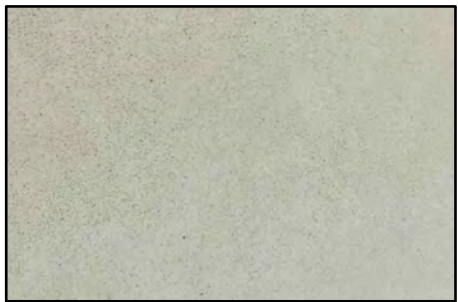
6



7



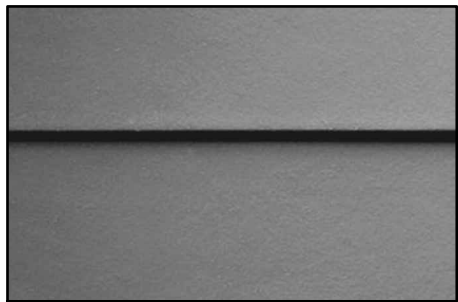
BRICK COLOR



LIMESTONE (GFRC) COLOR



WINDOW COLOR



SIDING COLOR

